

So much to offer – investment property, vacation property, residence, Airbnb – lakeside at Eagle Mtn Lake!



16' x 20' garage/
Storage shed

1-bed/1-bath
780 SF cottage
W covered porch

2-bed/2-bath
1492 SF lakehouse
w/ balconies &
covered patio

Boat dock &
Boat house
&
Fantastic lake view!

Reasons that you'll regret if you let this property pass...

Features & Upgrades:

This property is a well-maintained lakeside get-away! Previously used as a bed-n-breakfast and currently as investment property with all units leased. **Possibilities abound - vacation home, Airbnb; Investment; Residence; part lease with part AirBnb!** This property has (3) 1-bed/1-bath cottages, one 2-bed/2-bath lake house, and large (16'x20') garage/storage shed; each cottage with covered porch, vaulted ceilings, two-sided (elegant stone) fireplaces, jacuzzi tubs, tile floors, built-in shelving, metal roofs and gas (propane) heat/water; the lake-house has two shaded balconies, covered patio, walls of windows, gas heat/water and stove; and great view of the lake! The property also comes with boat dock and boat house and is income producing!

Virtual Tour: <http://www.seetheproperty.com/276830>

Drone Video: <https://app.dronevideos.com/pages/12850-stuart-park-rd-azle-tx-76020-1123>

Marketing brochure & Rent Rolls: https://realtysidebyside.com/wp-content/uploads/2019/04/12850-Stuart-Park-Dr_Brochure-Rent-rolls_041219.pdf

Structural:

Cottages:

- HVAC (2) -2002; (1) – 2016
- Metal roofs
- Energy efficiencies – gas (propane) heat & electric hot water (~2010); ceiling fans in several rooms; dual pane windows throughout
- Separate electric meters
- All on low-dosing septic; city water

Lake House:

- New roof (2017)
- HVAC (~2008)
- Energy efficiencies – gas (propane) heat & electric hot water (~2005); ceiling fans in several rooms
- On septic; city water

Notable features:

Cottages:

- Amazing curb appeal metal roof; covered porch
- Each with appliances – refrigerator, stove, microwave, pantry; wired for dishwasher and disposal
- Bedroom has walkin closet (and fireplace – two sided) with ceiling fan
- Large 18' x 5' covered porch
- Baseboards & trim (windows, doors, etc.)

Lakehouse

- Floorplan – Amazing open floorplan with two bedroom (one down, one up), two full baths (one down, one up), living area & breakfast area, and separate utility room.
- Baseboards & trim (windows, doors, etc.); all new plumbing & electrical in 2002; recent updates for flooring, doors, and ceiling fans.

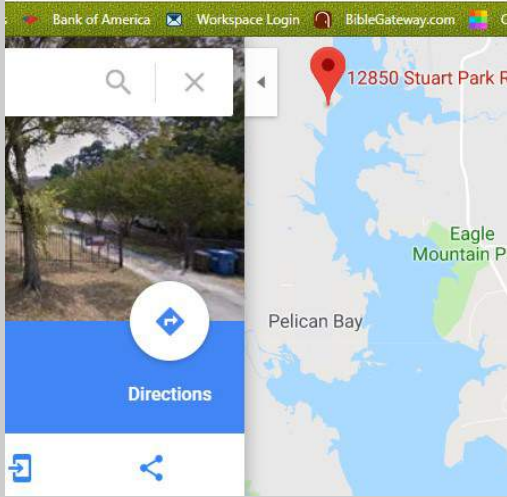

Garage/Shed (16' x 20')

- Lots of storage/shelving

Location:

"Lake Worth and Northwest Tarrant County **comprise one of the fastest growing areas in the Dallas/Fort Worth Metroplex and Texas.** With varied shopping, restaurants to suit every appetite, high quality residential areas, booming employment opportunities, great schools, recreation on Eagle Mountain Lake and Lake Worth, and easy access to entertainment and amenities in Fort Worth and Dallas, there is every reason to love living in Northwest Tarrant County"¹

- [Azle ISD](#) - great schools: Liberty Elementary; Santo Forte JHS; Azle HS
- Minutes from [Alliance Town Center](#), [Texas Motor Speedway](#) (and the whole Alliance Corridor); Basswood Blvd shops; shopping, entertainment, dining; [West Bay Marina](#)
- [Eagle Mountain Lake](#); [Shady Grove Park](#), [Twin Points Park](#) & [Ash Creek Park](#) are nearby, within minutes' drive; also [Pelican Bay](#) & [FW Nature Center](#).
- Minutes from [nearby employers](#), BNSF, NAS FW JRB, Lockheed, and many other major employers in the DFW area
- [Other great activities nearby.](#)
- Nearby access to FM199, I-820; DFW airport is 55 mins drive; downtown Fort Worth is approx. 45 mins
- Highly sought-out area – [fantastic fishing](#) for bass, catfish, crappie; and [boating](#)
- Significant [residential and commercial development happening in this area](#); [The Resort](#); [Villages of Eagle Mtn](#); and many more...huge increase in building permits in 2017-2018...

	 <p>City of Azle Azle. Absolutely.</p> <p>Home MDD About Azle Do</p> <p>VALUATION (IN MILLIONS)</p> <p>70 65 60 55 50 45 40 35</p> <p>Residential Commercial</p>
<p>Exclusions: None</p>	<p><i>Make an offer today!</i></p>

¹ http://nwtcc.org/index.php?modzzz_listing_filter=top